

Architectural Heritage Impact Assessment

Development of a new Kinnegad Economic Enterprise Hub,
Kinnegad, Co. Westmeath



Image from September 2020

(prior to works commencing on site at the neighbouring Library site)

Report March 2024

by Cooney Architects on behalf of Westmeath County Council

1 Introduction

The Architectural Heritage Impact Assessment (AHIA) is required to assess the potential impact on the architectural heritage and demonstrate that best practice conservation methods will be carried out to The Former Masters House, Main Street, Kinnegad, Co. Westmeath. It is prepared by Cooney Architects who are RIAI accredited grade 3 conservation architects (Frank Cooney, B Arch MRIAI).

The AHIA report has been prepared for inclusion in a Part 8 planning submission and should be read in conjunction with architectural drawings and planning application documents submitted to Westmeath County Council by Cooney Architects.

Proposed Works

The proposed development will include the following:

- Refurbishment of the original Master's House Building (Protected Structure ref. 027-008 as per the Westmeath County Development Plan Record of Protected Structures 2021 – 2027) including partial demolition works to facilitate a new rear extension.
- Construction of a new single storey extension to the rear of the Master's House (c284 m²) to be used as a reception, office space and meeting rooms.
- Site development works including improved pedestrian access and the upgrade of the existing ramp access with the provision of controlled vehicle access from the Mullingar Road.
- Hard and soft landscaping, including removal and replacement of the existing hedgerow along the western boundary.
- Provision of signage, lighting, bin storage, cycle stands and ancillary site works.

Protected Structures

The proposed site includes, the "Former Schoolmaster's House" this is contained on the Record of Protected Structures, reference 027-008, under the Westmeath County Development Plan 2021-2027, and the National Inventory of Architectural Heritage (NIAH) ref no. 15316003 as a building of Regional Status.

The former Schoolmaster's House is located adjacent to the former Kinnegad National School Protected Structure ref. no. 027-009 also listed in the NIAH as an important building of Regional Status (ref. no. 15316004).

Methodology

This AHIA is carried out in Accordance with the Architectural Heritage Protection Guidelines for Planning Authorities Appendix B and includes written methodology setting out the design teams approach using best practice conservation led approach, a photographic record of the building, an evaluation of the significance of the structure, an overview of the site's history, an assessment of the architectural quality and significance of the building and an evaluation of the impact of proposed development.

2 Rationale for proposed Interventions

A series of Design Studies were carried out to identify the appropriate use of space within the protected structure necessitating minimal intervention within the context of the new service.

Study of Original Building:

- A charming and well-detailed late nineteenth-century former schoolmaster's house, associated with Kinnegad National Schools (15316004) to the south, which retains its early form and character.
- As described by the National Inventory of Architectural Heritage:

Detached three-bay two-storey former schoolmaster's house, built c.1893, having an advanced gable-fronted bay to the east end of the main elevation (south). Now in use as a private dwelling. Pitched natural slate roofs with overhanging eaves and two red brick chimneystacks, one original the other rebuilt. Roughcast rendered walls with extensive red brick trim, including dressings to the openings, a projecting sill course at first floor level and flush quoins to the corners. Shallow segmental-headed window openings with one-over-one pane timber sliding sash windows. Central shallow segmental-headed doorway having brick dressings and a timber panelled door with plain overlight. Rubble limestone boundary wall to the south. Located to the north of the associated school (15416004) at end of a narrow lane running from the south and to the northeast end of Kinnegad.

- Opportunities were identified to address these weaknesses and contribute to public realm were identified. Careful consideration was given to how the building could be best adapted to mitigate these weaknesses while maintaining the existing character and fabric of the building. New openings could be made in elevations with least impact. Best practice conservation led repair and appropriate thermal upgrade would ensure the protection of the building by ensuring its continued use.

Mitigation

- No extension to the front is proposed to protect the historic structure and its character.
- The new extension to the rear is designed to respect the form of the existing building and the context of the existing building. Its removed from the building, its overall height is below the level of the existing ridge and its mass and bulk is broken down in scale and its materiality respects the texture and grain of the local materials while presenting a contemporary expression.

Study of the building in context

- A study of the building in the context of surrounding structures, boundary walls, protected structures, the school house and new library (currently under construction) identified an appropriate location for the new extension which would allow a sustainable new use for the building which has been vacant for many years.
 - The site is located in the heart of Kinnegad on the site of the former Master's House, to the rear of the Former School House and new Library Building (under construction), File Ref. LA(M)-122. The proposed library includes the conservation, restoration and refurbishment works to the existing building – The former National School on Main

Street, Mullingar Road Kinnegad, demolitions and new build two-storey buildings/ extensions at the rear area, complete with glazed links to the front and rear.

- The project has been developed by Westmeath County Council (WCC) and the Longford Westmeath Education and Training Board (LWETB), it is funded by the Rural Regeneration and Development Fund (RRDF).
- Cooney Architects/ Keys Monaghan Architects (CAKM) were appointed as architects by Westmeath County Council to prepare a Part VIII planning application submission, for the Proposed New Kinnegad Community Library and Educational Training Centre at Kinnegad, Co. Westmeath.
- Studies of microclimate, sun path, shadow studies, energy natural ventilation and natural lighting simulation modelling were considered when determining the environmental and energy consideration of the proposed refurbishment.

Study of the Public Realm

- The design of the new extension to the existing masters house building within the setting of the school and master's house forms a unified whole linked to the public realm on the main street and providing opportunities for permeability and linkages to the neighbouring uses and future developments, through the provision of future pedestrian access.

3 Regulatory Status

The School

Address: Former National School, Main Street, Kinnegad, County Westmeath

XY Coordinates of Site: 259720, 245375

Ordnance Survey Map: Sheet 7929-D

Planning Authority: Westmeath County Council

Record of Protected Structures: Westmeath County Council RPS, Former National School,
Reference Number 027-009

NIAH Reg. Number 15316004

NIAH Rating Regional

ACA N/A

Record of Monuments and Places N/A

National Monuments Service N/A

Categories of Special Interest Architectural, Artistic, Social

Date of Site Inspection 24/11/2023

The Master's House

Address:	The Masters House, Main Street, Kinnegad, County Westmeath
XY Coordinates of Site:	259730, 245416
Ordnance Survey Map:	Sheet 7929-D
Planning Authority:	Westmeath County Council
Record of Protected Structures:	Westmeath County Council RPS, Detached three-bay two-storey former schoolmaster's house Reference Number 027-008
NIAH Reg. Number	15316003
NIAH Rating	Regional
ACA	N/A
Record of Monuments and Places	N/A
National Monuments Service	N/A
Categories of Special Interest	Architectural, Artistic, Social
Date of Site Inspection	24/11/2023

County Development Plan

The proposed site includes, the “Former Schoolmaster’s House” which is contained on the Record of Protected Structures, reference 027-008, under the Westmeath County Development Plan 2021-2027. It is a stated policy of Westmeath County Council’s Development Plan “to encourage the sympathetic re-use and long-term viability of such structures without detracting from their special interest and character.”

As mentioned in Section 8.3.3.9 Regeneration of Westmeath County Development Plan 2021-2027, the Master’s House is highlighted as an opportunity site. Through the imaginative reuse of the Former Masters House building; both existing structures are respected and the close relationship between the Former National School and Schoolmaster’s House will be reinforced. The design of the contemporary extension to the Masters House respects the setting of the former Schoolmaster’s House with its contemporary extension and presents a coherent approach for the appropriate re-use of these protected structures.

In line with the Westmeath County Council’s Development Plan, the repurposing of the former Masters House building ensures that any modification, alteration, or extension affecting the Former Masters House is sensitively designed, is compatible with the special character, and is appropriate in terms of the proposed scale, mass, height, density, layout, and materials so that the integrity of the structure is respected and maintained.

The proposed project for the Former Schoolmaster's House aligns with the policies set out in the Westmeath County Regeneration and Development plan. Firstly, it supports the redevelopment of identified Regeneration/Opportunity Sites within Kinnegad. The Former Schoolmaster's House becomes a focal point for regeneration efforts. This building has considerable architectural merit, contributes positively to the existing streetscape and is included on the Record of Protected Structures.

Moreover, the project contributes to the consolidation of Kinnegad Town Centre by advocating for the re-use and regeneration of existing buildings, specifically the "Old National School" and "Master's House." The site presents an opportunity to address existing social infrastructure deficit in the town through the development of the library and education campus to support the social and educational needs of the existing population and new communities. The project ensures a vibrant and connected atmosphere that extends to the Main Street.

The establishment of a new economic enterprise hub on the site further underscores the commitment to enhancing the town's social infrastructure. This initiative aligns with the town's vision for growth and community support. By repurposing the Former Schoolmaster's House site, the project contributes to the creation of a central hub complete with recreational and amenity facilities. Given the existing protected structures, the redevelopment will be carried out in accordance with best conservation practice.

4 Historical Overview Kinnegad

Kinnegad

The Irish place name for Kinnegad is Cionn Átha Gad, which has been translated as “the head of the Ford of withes”. The Ford referred to is the present River Kinnegad, which since 1543 has marked the boundary between Westmeath and Meath.

The settlement form of Kinnegad is largely dictated by the River Kinnegad and the road network within the town in particular the former N4 Primary Road, now the R148 Regional route. This network comprises of six different routes converging on the town centre. In general, the road network acts as the boundaries for development in the town. The R148 route also acts as the Main Street for Kinnegad, with development patterns undoubtedly influenced by the previously large volumes of traffic that once flowed through the town with the former N4 National Primary route.

The centre of the town displays a fine urban grain but retains evidence of its previous role as a Market town through the wide Main Street. The National School and Masters House is located here at the very heart of Kinnegad.



Map 1: Extract from OS map of Kinnegad, Sheet 7929-D, 6 inch Cassini (1830s to 1930s)

Examination of the Cartographic Record

The extract of the OS map above, which was produced between 1888 and 1913, shows the footprint of the National School building. The advanced gable-fronted bays to either end of the main facade faces southeast, the rear elevation faces north west creating a H-shaped plan. A large open space which acts as the school playground lies between the National School and the former schoolmaster's house (NIAH Reg. Number 027-008). The subsequent 25 inch map shows a very similar footprint.



Map 1: Extract from OS map of Kinnegad, Sheet 7929-D, Historic Map 25 inch (1888-1913)

National School and the Board of Works later the Office of Public Works

After the National Schools Act of 1831, the need for, and mechanisms to build new school houses created a demand for new school buildings in rural areas, and these simple structures helped to meet that demand. Many were built by local communities using local materials and using a number of standard designs supplied by the Office of Public Works. School house designs supplied by the OPW vary in form but maintain the same basic features; an entrance porch, a cloakroom, the classroom, tall sash windows, an open fireplace and high ceilings, wainscoting on the lower parts of the internal walls, a raised wooden floor, ventilation features etc. The architectural drawings were supplied and distributed by the OPW to locations around the country, and for this reason you can often find identical school buildings at opposite ends of the country. There were a variety of designs available through the decades, and it is often possible to date the construction of a school house to within a few years based on the form of the building. This in itself tells the story of standardising education and providing for the educational needs of the general public; a huge and progressive leap forward at the time. Many schools of the time had 2 formal classrooms one for either sex with separate entrances and some ancillary accommodation, playgrounds were often single sex; Kinnegad NS was no different.

Better education was both a goal and a tool in the comprehensive modernising projects of the 19th century. The schoolhouse held notable significance as an institution for education and represented a shift towards better education and schooling. In reality, it cannot be understated how significant these buildings were in bringing learning to the masses. They were at the heart of the community and remain symbolic of a more progressive ethos that stemmed from the 1831 Act. These schools were often under the under the auspices of the Church, in this instance the Catholic Church.

Description of Building – Exterior

Composition: Detached three bay single-storey Residential building, built c. 1893, having an advanced gable-fronted bay to the east end of the main elevation (south). Was in use as a private dwelling.

Roof: Pitched natural slate roofs with overhanging eaves and two red brick chimneystacks, one original the other rebuilt. (NIAH).

Elevation: Roughcast rendered walls with extensive red brick trim, including dressings to the openings, a projecting sill course at first floor level and flush quoins to the corners. Shallow segmental-headed window openings with one-over-one pane timber sliding sash windows. Central shallow segmental-headed doorway having brick dressings and a timber panelled door with plain overlight. Rubble limestone boundary wall to the south. Located to the north of the associated school (15416004) at end of a narrow lane running from the south and to the northeast end of Kinnegad.

Description of Building – Exterior

Room 1 Entrance Hall: The Main door enters into a small wallpapered entrance hall with a stairs winding to the first floor. A small timber panelled storage cupboard is located under the stairs. Checker board and red and black original floor tiles

Room 2: Reception Room 1: Painted walls . The original fireplace remains intact. Original flooring overlayed in carpet, condition of flooring unknown. Original timber casing surrounding each paired sliding sash window and both doorways. PVC Windows not Original.

Room 3: Reception Room 2: Painted walls. The carpet and ceiling finishes are not original. Original timber casing surrounding each paired sliding sash window and both doorways. Original flooring overlayed in carpet, condition of flooring unknown. PVC Windows not Original.

Room 4: Kitchen: Original Stone flooring. Wainscotting with wallpaper finish above. Kitchen not original. Cast iron stove located on elevation C. PVC Windows not Original.

Room 5 and 6: Bathroom and Bedroom 1: It appears likely room 5 and room 6 was originally one room. i.e. the bedroom, water tank and bathroom. Original timber casing surrounding two paired sliding sash windows and doorway is intact. Original timber sash frame intact. Fireplace removed.

Room 7: Bedroom 2: Original timber casing surrounding two paired sliding sash windows and doorway is intact. PVC Windows not Original.

Room 8: Bedroom 3: Original timber casing surrounding two paired sliding sash windows and doorway is intact. PVC Windows not Original.

5 Architectural Heritage Appraisal

Social Significance

The schoolhouse held notable significance as an institution for education and represented a shift towards formal education and schooling nationally. In reality, it cannot be understated how significant these buildings were in bringing learning to the masses. Kinnegad National School has served the town and wider environs which to this day remains symbolic of a more progressive ethos that stemmed from the 1831 Act. While the school is located in the centre of the town, and its front elevation faces onto the main street, in reality the school turns its back on the main street with entrance doors located at the rear and narrow windows with very high cill levels fronting onto the main street. The school is now vacant, it was previously occupied by 'County Westmeath, Vocational Education Committee, Arts Education & Training Centre' and they found its layout to be unsuitable for its original use. It is now vacant and urgently requires a suitable new use in order to retain its social and architectural importance in the settlement. A new national school on a greenfield site at the edge of town has replaced the original building.

Architectural Significance

The attractive red brick and limestone building is one of a number of similar purposely designed national schools throughout Ireland. Great care and attention were given to the design of the principal façade and, as a result, it is one of the more prominent structures on the Main Street. The National Inventory of Architectural Heritage states that "This building is probably the most attractive example of its type and date in Westmeath. This school was built to designs by A. Scott, architect, and the contractor was T. Reilly. The graded lancet windows to the advanced end bays give this building a distinctly ecclesiastic appearance (possibly an historical insight into the extensive input the Roman Catholic Church had in the education system in Ireland at this time). The contrast between the limestone masonry and the extensive red brick trim creates an interesting and pleasing appearance. This prominently sited building forms an important pair of related structures with the former schoolmaster's house (15316003) to the north and makes a strong positive contribution to the Kinnegad streetscape."

Evaluation of Architectural Features

Over the last century limited structural or decorative changes have been made to the building. A number of alterations were carried out to the building in more recent times, the additional of an upper floor toilet, the dado panelling have been removed in some areas, the original windows and doors have been removed and the loss of features such the handrails and upper floor fireplace due to vandalism.

Whilst there has been limited deterioration of fabric on the exterior of the building, the Protected Structure is in relatively poor repair and its notable joinery, glazing and plasterwork features have been lost.

The building's most significant feature is its decorative red brick and rendered facade designed by architect William Alphonsus Scott who was an Irish Roman Catholic ecclesiastical architectural historian and son of William Scott architect. Particular elements of interest include the natural slate roof with chimneystacks, decorative red clay ridge tiles, remaining cast iron rainwater goods, wainscoting panelling, timber floorboards, cornices, and checkerboard floor tiles. The school house to the front, complete the historic site. We set out the new extension that the existing Masters house, new

extension, school house and its associated extension, and outdoor meeting area forms a unified whole linked to the public realm on the main street and provide opportunities for permeability and linkages to the neighbouring uses and future developments.

6 Photographic Inventory

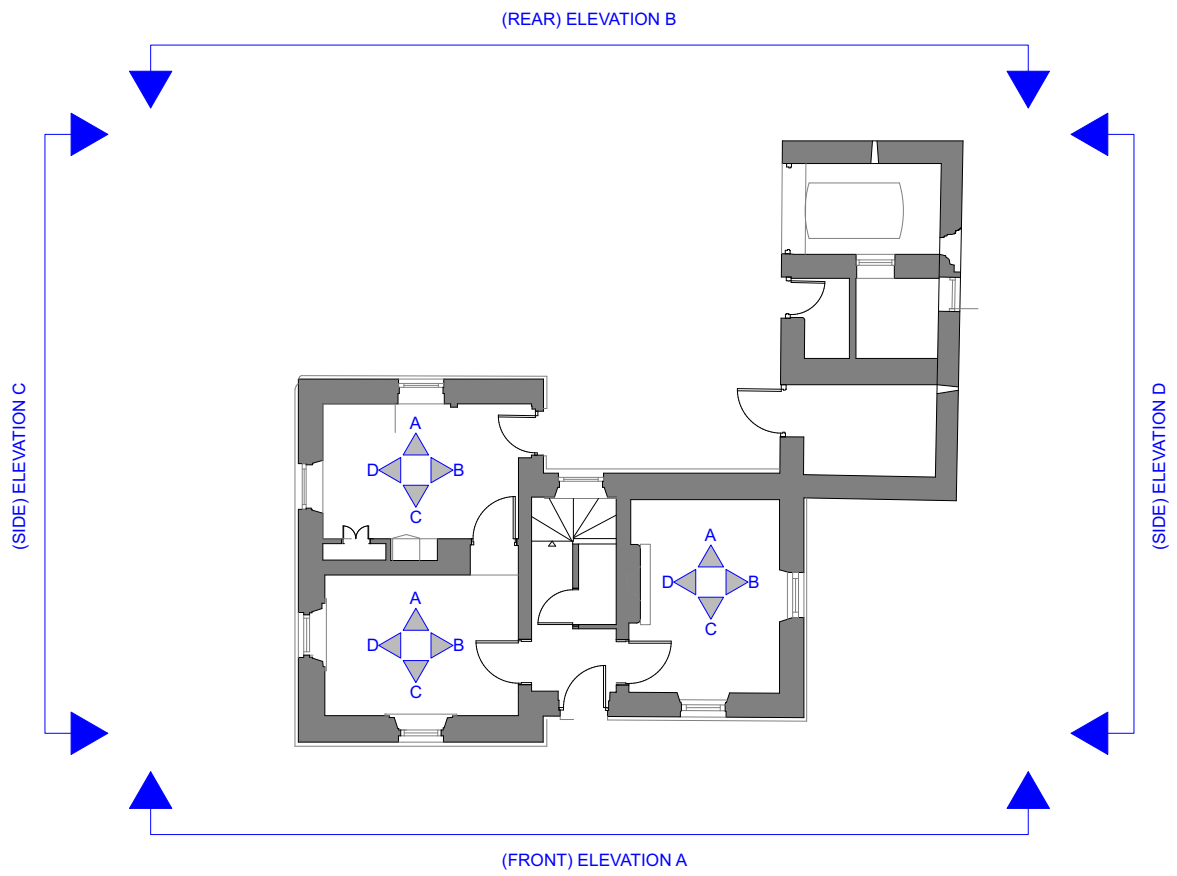


Fig 1: Existing Reference Plan

Elevations

6.1 (FRONT) ELEVATION A

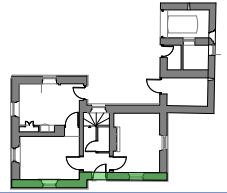


Fig 1: Elevation A. First Floor Sliding Sash Windows boarded up with timber. Evidence of climbing plants.
*Note picture was taken in March 2024 during works to former school-house.



Fig 2: Elevation A Perspective. Ground floor window grille fixed to red brick. *Note picture was taken in July 2020.

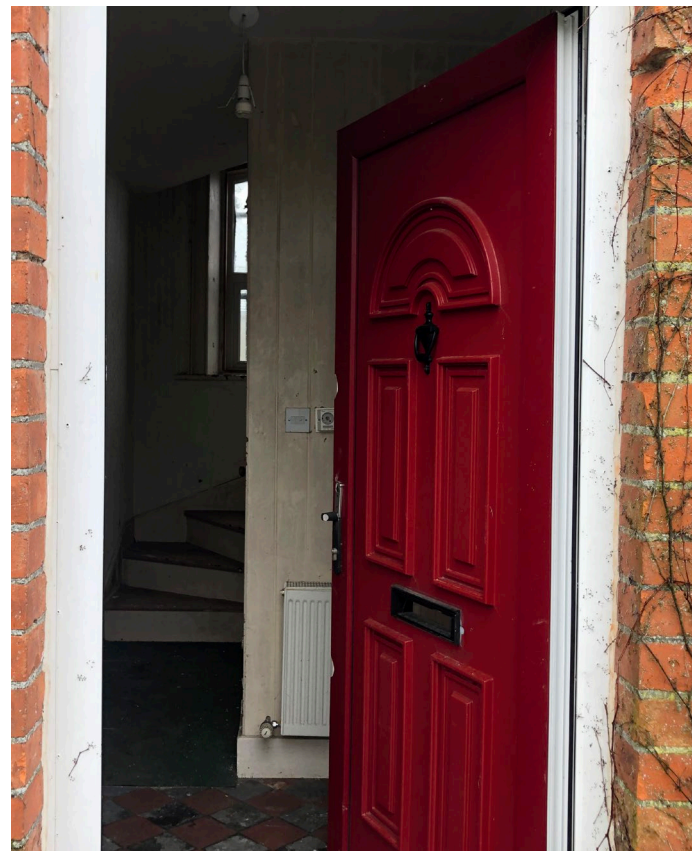


Fig 3: Elevation A. Non-original PVC Main entrance door.
*Note picture was taken in March 2024.

Elevations

6.1 (FRONT) ELEVATION A

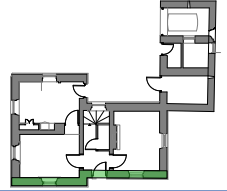


Fig 4: Elevation A. First Floor Sliding Sash Windows.
*Note picture was taken in July 2020.



Fig 5: Elevation A. Evidence of climbing plants on front facade. Ground floor window grille fixed to red brick.
*Note picture was taken in July 2020.

Elevations

6.2 (REAR) ELEVATION B

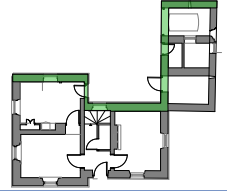


Fig 6: Elevation B. Stone/brick extension to rear of existing Master's House. *Note picture was taken in July 2020.



Fig 7: Elevation B. Existing tank stored within extension. *Note picture was taken in July 2020.



Fig 8: Elevation B extension. *Note picture was taken in July 2020.

Elevations

6.2 (REAR) ELEVATION B

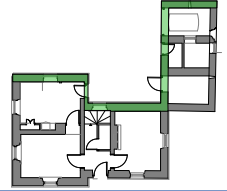


Fig 9: Elevation B extension. Evidence of climbing plants.
*Note picture was taken in March 2024 during works to former school-house.



Fig 10: Elevation B extension. Opening to stone wall.
*Note picture was taken in March 2024.



Fig 11: Elevation B extension. Evidence of planting growing in the extension.
*Note picture was taken in March 2024 during works to former school-house.

Elevations

6.2 (REAR) ELEVATION B

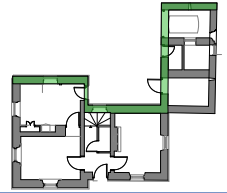


Fig 12: Elevation B.

*Note picture was taken in March 2024 during works to former school-house.



Fig 13: Elevation B. Ground floor window grille fixed to red brick. *Note picture was taken in July 2020.



Fig 14: Elevation B. Ground floor window grille fixed to red brick. Existing fascia board has been damaged. *Note picture was taken in July 2020.

Elevations

6.3 (SIDE) ELEVATION C

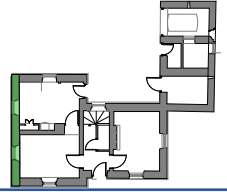


Fig 15: Elevation C. Side access to rear of the site.
*Note picture was taken in March 2024 during works to former school-house.



Fig 16: Elevation C. Ground floor window grille fixed to red brick.
*Note picture was taken in July 2020.

Elevations

6.4 (SIDE) ELEVATION D

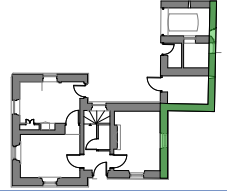


Fig 17: Elevation D. Evidence of climbing plants on side facade. Existing fascia board has been damaged.
*Note picture was taken in March 2024 during works to former school-house.



Fig 18: Elevation D.
*Note picture was taken in July 2020.



Fig 19: Elevation D extension. Evidence of climbing plants on facade.
*Note picture was taken in March 2024 during works to former school-house.

Elevations

All internal photographs have been taken on March 2024.

6.5 ROOM 1: ENTRANCE HALL

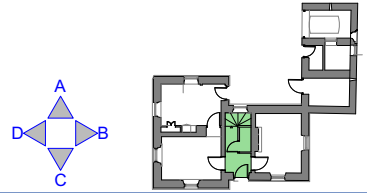


Fig 20: Internal Elevation 1.A. Landing.



Fig 21: Internal Elevation 1.B. Doorway to Room 4.



Fig 22: Internal Elevation 1.C. Main Entrance door.



Fig 23: Internal Elevation 1.D. Doorway to Room 2.

Elevations

All internal photographs have been taken on March 2024.

6.5 ROOM 1: ENTRANCE HALL

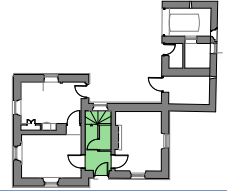
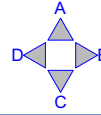


Fig 24: Internal Elevation 1.A. Staircase.



Fig 25: Internal Elevation 1.A. Window to staircase. Sash Window has been damaged.



Fig 26: Internal Elevation 1.A. Staircase.



Fig 27: Internal Elevation 1.A. Storage under staircase.

Elevations

All internal photographs have been taken on March 2024.

6.6 ROOM 2

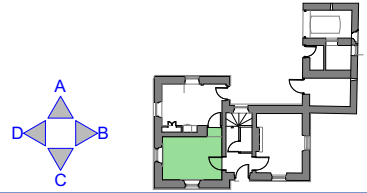


Fig 28: Internal Elevation 2.A.

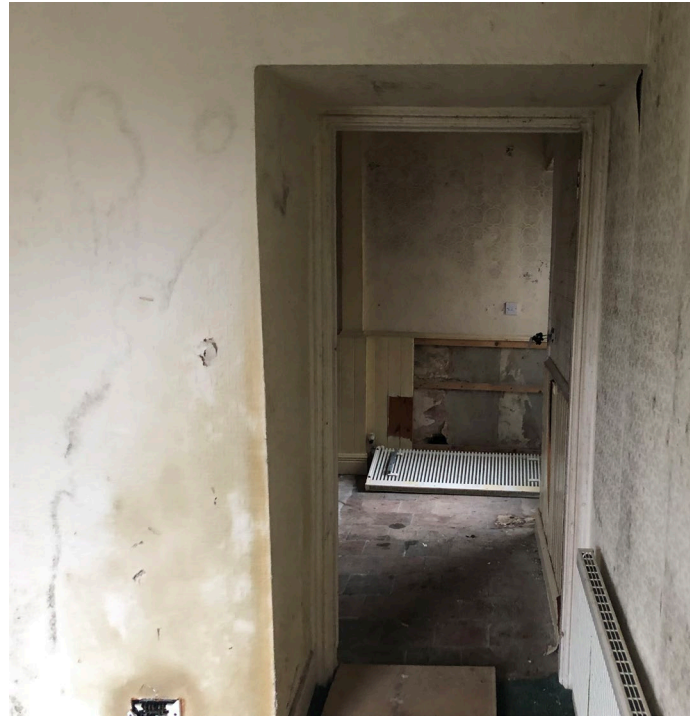


Fig 29: Internal Elevation 2.A. Doorway to Room 3-Kitchen.



Fig 30: Internal Elevation 2.B. Doorway to Room 1-Entrance Hall.



Fig 31: Internal Elevation 2.C.

All internal photographs have been taken on March 2024.

Elevations

6.6 ROOM 2

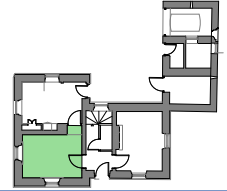
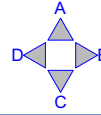


Fig 32: Internal Elevation 2.C. Wall has been damaged.



Fig 33: Internal Elevation 2.D.



Fig 34: Internal Elevation: Ceiling.



Fig 35: Internal Elevation: Timber floor with carpet. Threshold from room 2 to room 3.

Elevations

All internal photographs have been taken on March 2024.

6.7 ROOM 3: KITCHEN

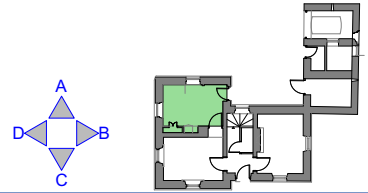


Fig 36: Internal Elevation 3.A. Kitchen cabinets.



Fig 37: Internal Elevation 3.A. Existing window boarded up.



Fig 38: Internal Elevation 3.A. Timber dado panelling and existing radiator have been damaged.



Fig 39: Internal Elevation 3.B. Timber wainscoting panelling has been damaged. Door to rear of the site.

Elevations

All internal photographs have been taken on March 2024.

6.7 ROOM 3: KITCHEN

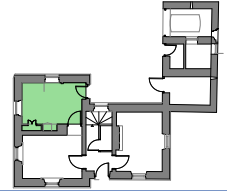
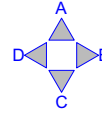


Fig 40: Internal Elevation 3.C. Doorway to Room 2. Electric cabinets above doorway.



Fig 41: Internal Elevation 3.C. Existing iron stove and cabinets.



Fig 42: Internal Elevation 3.C. Existing iron stove.



Fig 43: Internal Elevation 3.D. Existing kitchen cabinets and sink.

Elevations

All internal photographs have been taken on March 2024.

6.7 ROOM 3: KITCHEN

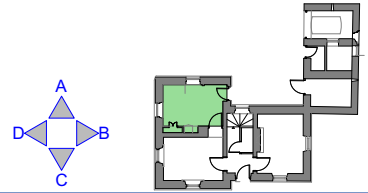


Fig 44: Internal Elevation 3.D. Existing kitchen cabinets and sink.

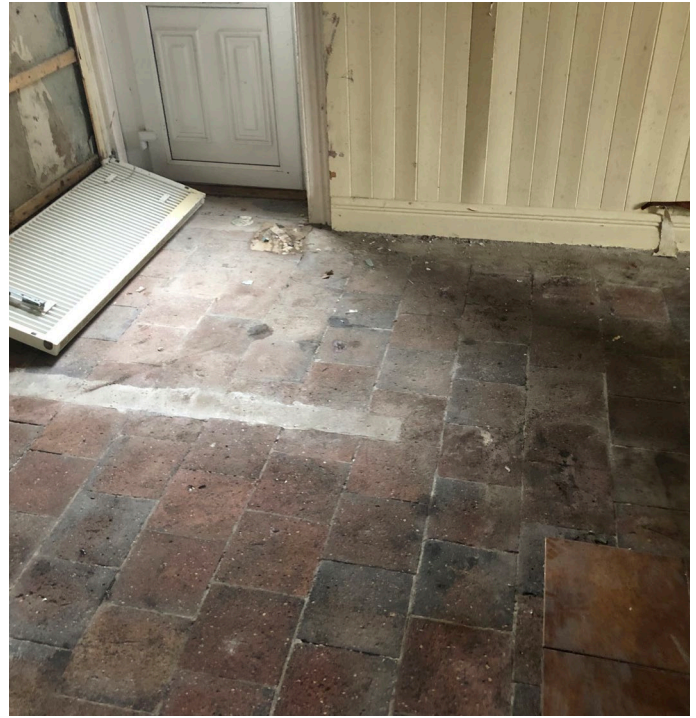


Fig 45: Internal Elevation: Floor tiles.



Fig 46: Internal Elevation: False ceiling has been damaged.

Elevations

All internal photographs have been taken on March 2024.

6.8 ROOM 4

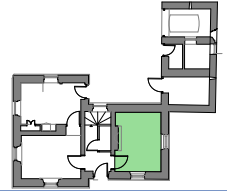
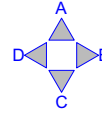


Fig 47: Internal Elevation 4.A.



Fig 48: Internal Elevation 4.B. Sash Window has been damaged. Evidence of planting growing into the room.



Fig 49: Internal Elevation 4.B.



Fig 50: Internal Elevation 4.C. Sash Window has been damaged.

Elevations

All internal photographs have been taken on March 2024.

6.8 ROOM 4

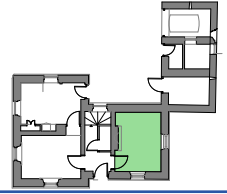
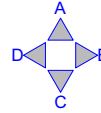


Fig 51: Internal Elevation 4.D. Existing fireplace.



Fig 52: Internal Elevation 4.D. Existing fireplace.



Fig 53: Internal Elevation 4.D. Detail of existing fireplace.

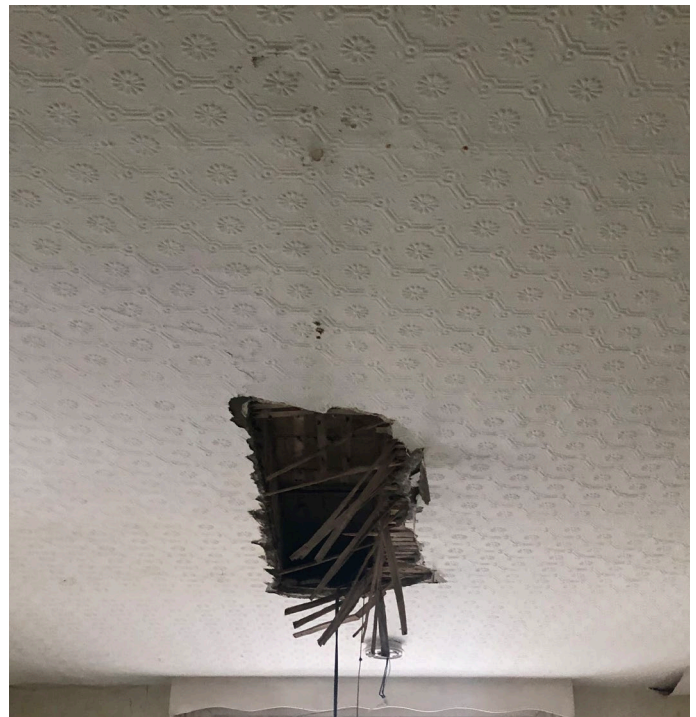


Fig 53: Internal Elevation: False ceiling has been damaged.

Elevations

All internal photographs have been taken on March 2024.

6.9 ROOM 5

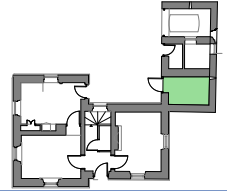
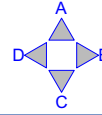


Fig 54: Internal Elevation 5.B.



Fig 55: Internal Elevation 5.C.



Fig 56: Internal Elevation: Ceiling.

Elevations

All internal photographs have been taken on March 2024.

6.10 ROOM 6

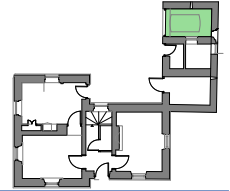
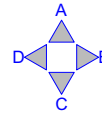


Fig 57: Internal Elevation 6.A. Stone Wall.



Fig 58: Internal Elevation 6.B. Stone wall has been damaged. Tank stored in room.



Fig 59: Internal Elevation 6.B. Detail of opening into stone wall.



Fig 60: Internal Elevation 6.C. Partition stone wall with opening.

Elevations

All internal photographs have been taken on March 2024.

6.11 ROOM 7: LANDING

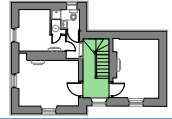
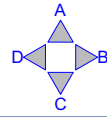


Fig 61: Internal Elevation 7.A. Staircase.



Fig 62: Internal Elevation 7.A.



Fig 63: Internal Elevation 7.B. Doorway to room 12.



Fig 64: Internal Elevation 7.C. Existing window boarded up. Damaged plasterboard.

Elevations

All internal photographs have been taken on March 2024.

6.11 ROOM 7: LANDING

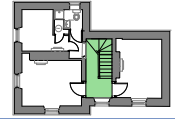
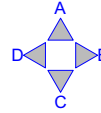


Fig 65: Internal Elevation 7.D. Doorway to room 8.



Fig 66: Internal Elevation 7.D. Temporary timber railing.

Elevations

All internal photographs have been taken on March 2024.

6.12 ROOM 8 & 9: Toilet

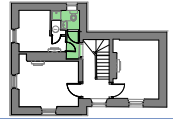
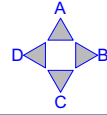


Fig 67: Internal Elevation 9.A. Existing toilet.

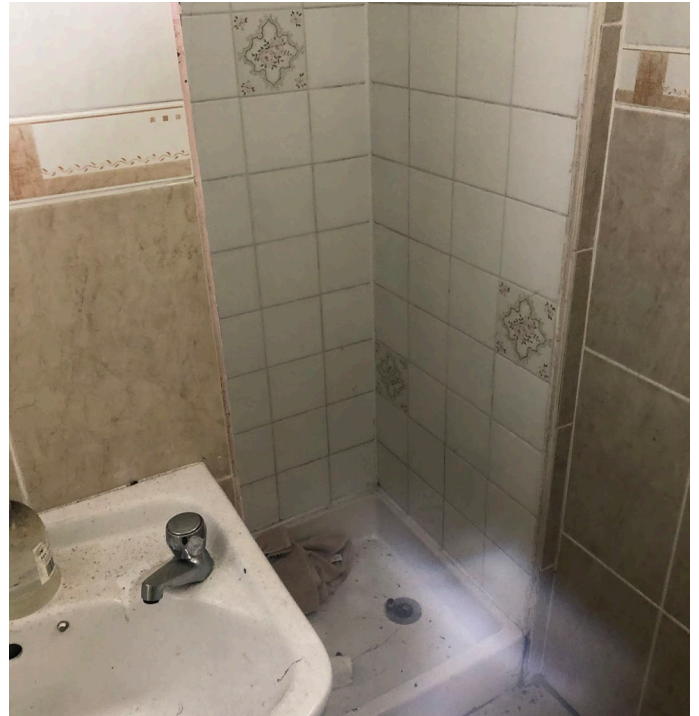


Fig 68: Internal Elevation 9.D. Existing shower.

Elevations

All internal photographs have been taken on March 2024.

6.13 ROOM 10

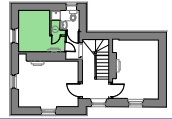
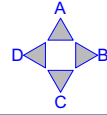


Fig 69: Internal Elevation 10.A. Water tank.



Fig 70: Internal Elevation 10.A.



Fig 71: Internal Elevation 10.C.



Fig 72: Internal Elevation 10.D.

Elevations

All internal photographs have been taken on March 2024.

6.14 ROOM 11

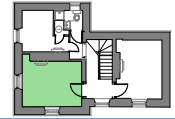
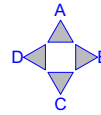


Fig 73: Internal Elevation 11.A. Fireplace opening.



Fig 74: Internal Elevation 11.A. Doorway to room 7. Plasterboard has been damaged.



Fig 75: Internal Elevation 11.C. Remains of door. Sash Window and plasterboard have been damaged.



Fig 76: Internal Elevation 11.D. Plasterboard has been damaged.

Elevations

All internal photographs have been taken on March 2024.

6.15 ROOM 12

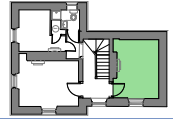
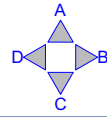


Fig 77: Internal Elevation 12.A. Plasterboard damaged.



Fig 78: Internal Elevation 12.B.



Fig 79: Internal Elevation 12.C. Existing window boarded up.



Fig 80: Internal Elevation 12.D. Existing fireplace. Plasterboard damaged.

7 Architectural Heritage Impact Assessment

Architectural Drawings and Architect's Report on Stage One Works

The following Architectural Heritage Impact Assessment (AHIA) is an evaluation of the proposed conservation led repairs and renewals and evaluation of the proposed interventions, notably the Economic Enterprise Hub. This report should be read in conjunction with all architectural drawings/documents.

Conservation Philosophy and Objectives

The Former Kinnegad Master's House is a Protected Structure of regional importance. The proposed conservation plan for the repair of structural fabric abides by series of internationally recognised conservation principles. The principles include: Minimum Intervention, Maximum Retention, Recording Works, Keeping a Building in Use. We outline the cohesive integration of the former schoolhouse (Kinnegad Community Library), and the master's house (proposing a new economic hub). This unified entity is connected to the public realm along the main street, offering possibilities for permeability and connections to adjacent uses and upcoming developments, through the future pedestrian link.

Methodology for Impact Assessment

Proposed changes are analysed below and justification for each aspect of the development is provide. Proposed changes have been assessed to consider their impact on the fabric and special interest of the building. Potential impacts to the special character and historic fabric are rated as positive, neutral or adverse, and where relevant, mitigation is included.

Summary of Proposed Development

The proposal focuses primarily on the conservation of the historic fabric, upgrading of facilities, and the localised works to improve fire safety standards. The careful selection of proposed room functions means that minimum modernised interventions will be required. Interventions to the protected structure that facilitate the opportunity to address and interact with the new extension are carefully considered and they strike the optimum balance between the opportunities presented and the need to make alterations, making a new singular opening in the main structure of the existing Master's House. This opening is located on the rear elevation to connect the former master's house with the proposed new extension by a glass link corridor.

The stone extension annexed to the main building will be preserved, and openings will be introduced in the facades to ensure proper ventilation and illumination for the proposed offices within, as well as increasing the opening heights for doors. These modifications are carefully planned to integrate functionality while respecting the historical integrity of the structure. The goal is to strike a balance between the preservation of architectural heritage and the adaptation of the building for contemporary use, ensuring a harmonious coexistence between the original elements and the functional needs of the interior spaces.

A landscape design is also proposed around the building, aiming to connect users and visitors to the history of the structure. The interventions include the removal of invasive vegetation that adversely affects both the interior and exterior of the protected building. This thoughtful landscaping approach seeks to create a welcoming and informative environment, allowing individuals to engage with the historical narrative of the building. The removal of invasive vegetation not only enhances the aesthetics


but also contributes to the overall preservation of the structure, ensuring a conducive and well-maintained setting for both present and future admirers of the building's heritage.

The interventions in the protected building will be limited to the removal of added elements that are not original. These modifications will be carried out using non-invasive treatments, preserving and highlighting the original architecture. The approach is focused on maintaining the authenticity and historical value of the structure, ensuring that any alterations are respectful and sensitive to the original design. The objective is to carefully reveal and enhance the architectural features that contribute to the building's cultural and historical significance, while avoiding any unnecessary disruptions to its original fabric.

Justification for Development

Justification for Development	Justification Ref
Ensure that an historic building, which is a Protected Structure, can be kept in use.	J1
To conserve an historic feature/fabric.	J2
To keep the building weathertight.	J3
Fire safety.	J4
Feature is obsolete.	J5
Restore the special character of the building by reversing poor quality historic interventions.	J6
Enhance thermal efficiency within the building.	J7

Impact Assessment of Proposed Changes

Proposed Change	Justification Ref:	Impact on Fabric, Character, or Setting	Impact Rating
External works			
Roof: Repair rafters and splice where necessary including repointed and localised repairs, where needed, to brick chimneystacks.	J1, J2, J3, J7	The proposal outlined in the architect's report allows for the maximum retention of existing sound slates and timbers and replacement of non-original slate. It is in line with conservation best practice and abides by the conservation principle of minimum intervention.	Positive
Roof: Replace artificial slate with natural slate to match existing and install insulation	J3, J7	The replacement of insulation will not have a visual impact but will improve the thermal efficiency and ensure longevity of the schoolhouse.	Positive
Walls: Repairs, repointing of open joints and repair or replace lost/ broken brick	J1, J2, J3, J7	The proposal to carry out localised repairs to brick joints using a correctly specified lime-based mortar follows the principle of minimum intervention. Replacing lost or broken bricks will restore the architectural character and preserve the historic fabric	Positive
Opening of rear elevation to provide access to the proposed extension 	J1, J2, J6	The proposal is to create an opening size of c. 1200mm along the rear elevation. This opening will integrate the existing Masters House with the proposal mitigating the loss of existing fabric. Any works will be carried out in a minimum intervention fashion, ensuring the maximum retention of historic fabric.	Neutral because of mitigation.
Timber sash windows: Repairs to existing timber sash windows.	J1, J2, J3, J7	The proposal for the retention and repair of historic windows will ensure that openings and	Positive

		timberwork are made good. The retention and repair of the timber sash windows being made good and will extend the life of these fine windows and improve thermal performance. A minimum intervention approach has been set out.	
Timber sash windows: Replace to non-original existing PVC sash windows.	J1, J2, J3, J7	The proposal for the replacement of non- original PVC sash windows with timber sash windows will improve the thermal performance and respect the historic fabric of the building	
Doors to entrances to be replaced.	J1, J2, J3, J7	The proposal for the replacement of non- original PVC doors with timber sash windows will improve the thermal performance and respect the historic fabric of the building	Positive
Rainwater goods: Repairs of existing cast iron rainwater goods and replace PVC rainwater goods to match existing.	J1, J2, J3, J7	Existing cast-iron rainwater goods are to be conserved so that they can adequately carry water away from the exterior envelope of the building. Replacing the PVC rainwater goods will restore the special architectural character and preserve historic fabric.	Positive
External ground to be sloped up to existing entrance to remove stepped entry	J1,	The stepped entrance is of no architectural significance. The loss of fabric is mitigated by providing universal access to all occupants	Neutral because of mitigation.
Outhouses: Alterations to openings in existing outhouses.	J1, J2, J6	Additional openings and widening of openings in the existing outhouses allow for the space to be retained and utilised. The increased openings ensure the structure is retained and usable. See drawings for further detail.	Neutral because of mitigation.
Façade: Removal of vegetation growing on the façade	J1, J2, J3, J4, J6	This intervention aims to eliminate the presence of plants that may be causing damage to the structure, both aesthetically and structurally. By addressing this issue, the goal is to preserve the integrity of the building, prevent potential deterioration, and create a cleaner and well-maintained environment inside and outside the structure.	Positive
Internal Works			
Electrics: Renewal of electrics, where required.	J1, J4	Rewiring will limit a potential cause of fire within the building which could result in loss of historic fabric and/or adversely affect occupants. Wiring is to be	Neutral

		surface mounted, but carefully located so as not to impact historic features such as joinery or decorative plasterwork.	
Checkerboard Tiling (room 1)	J2, J6	Existing tiling to be cleaned and repaired where required. Any damaged tiles to be replaced to match existing where required to retain the architectural character.	Positive
Creation of Kitchen (Room 2, former Reception Room)	J1	The introduction of an opening into the new extension within this reception room and installation kitchen for use by occupants will allow the building to continue to be used and function well. Limited changes will have a neutral impact on the fabric and character of the Protected Structure. Amendments to this space will increase flow and functionality of the existing building.	Neutral
Room 3 & 4 ceilings	J4	Existing non-original ceiling tiles will be removed. Ceilings will be upgraded to be one-hour fire resistance. The change will have a neutral impact on the character of the building.	Neutral
Minor repairs to all internal windows and doors.	J1, J2	Minor, localised repairs will allow for the maximum retention of historic features.	Positive
Repair windows and replace broken glass.	J3, J7	The like-for-like repair of the window is a positive conservation intervention.	Positive
Plasterwork repairs: Throughout the Masters House	J1, J2, J7	A minimum intervention approach to conservation repairs of the damaged plasterwork will insure the protection of historic fabric and the space's character.	Positive
Room 5: Removal of Tank and fixtures	J1	The existing non original partition wall separating room 5 and 6 is to be removed. The installation of a stud wall to be installed in place. The provision an upgraded toilet at upper floor level will increase the functionality of these spaces. All existing fixtures to be replace.	Positive



EXISTING FRONT ELEVATION

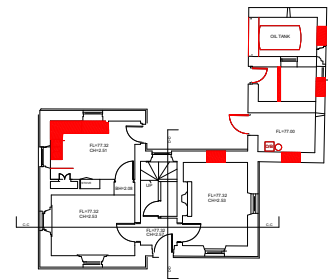


PROPOSED FRONT ELEVATION

LEGEND

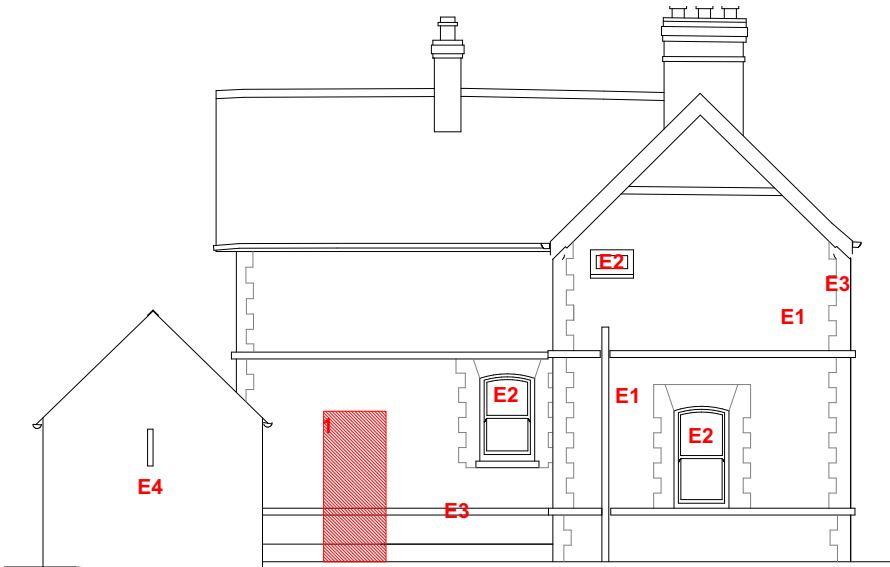
- 1 New opening
- 2 New wall
- 3 Remove wall

- E1 Existing limestone finish
- E2 Existing PVC type windows/doors to be replaced
- E3 Existing red brick
- E4 Existing stone finish
- Demolition






EXISTING REAR ELEVATION

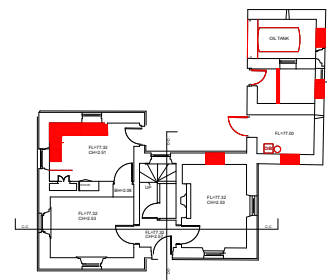


PROPOSED REAR ELEVATION

LEGEND

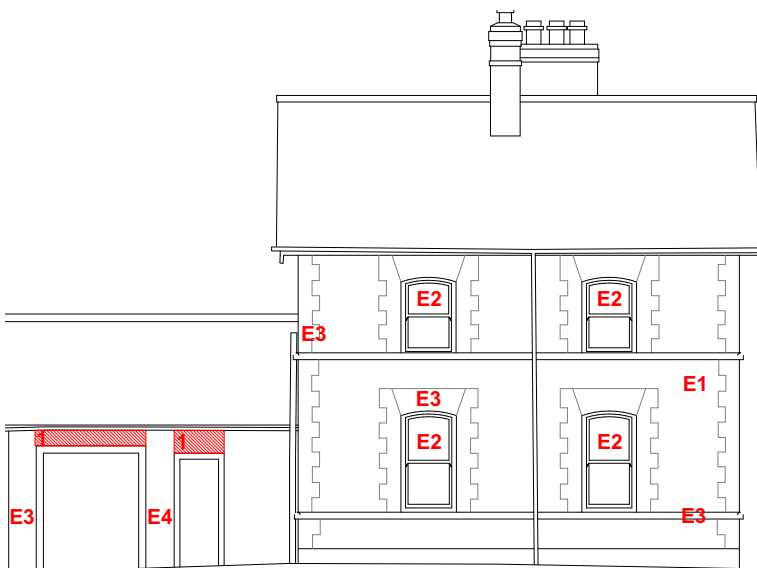
- 1 New opening
- 2 New wall
- 3 Remove wall

- E1 Existing limestone finish
- E2 Existing PVC type windows/doors to be replaced
- E3 Existing red brick
- E4 Existing stone finish
-  Demolition





EXISTING SIDE ELEVATION

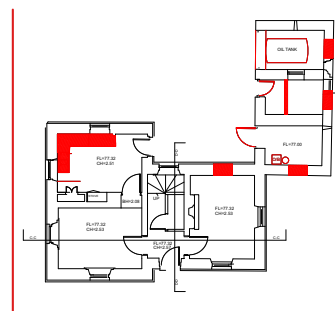


PROPOSED SIDE ELEVATION

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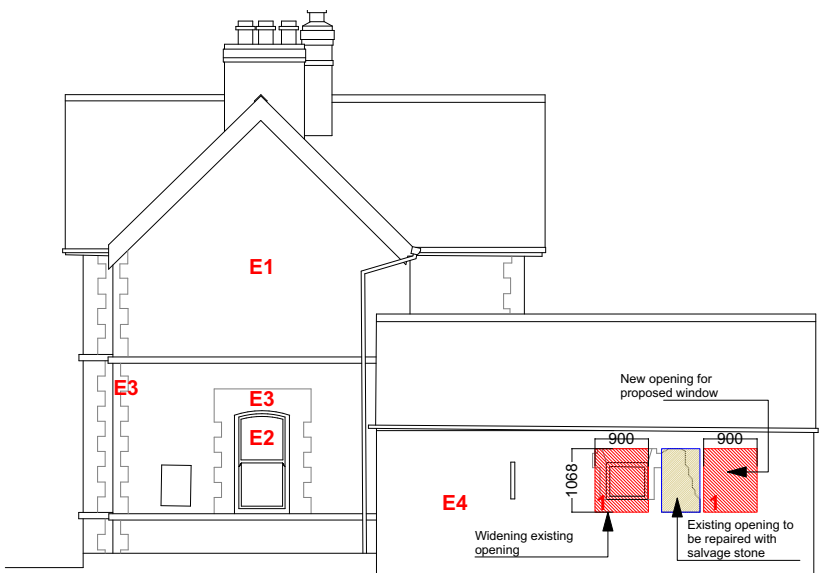
- 1 New opening
- 2 New wall
- 3 Remove wall

- E1 Existing limestone finish
- E2 Existing PVC type windows/doors to be replaced
- E3 Existing red brick
- E4 Existing stone finish
- Demolition





EXISTING SIDE ELEVATION

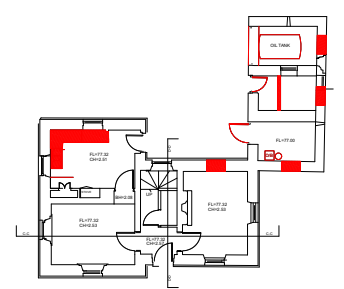


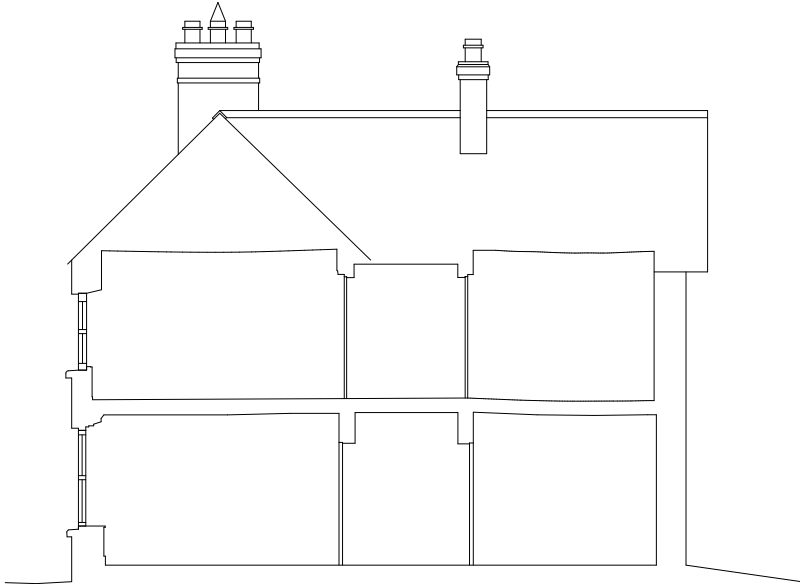
PROPOSED SIDE ELEVATION

LEGEND

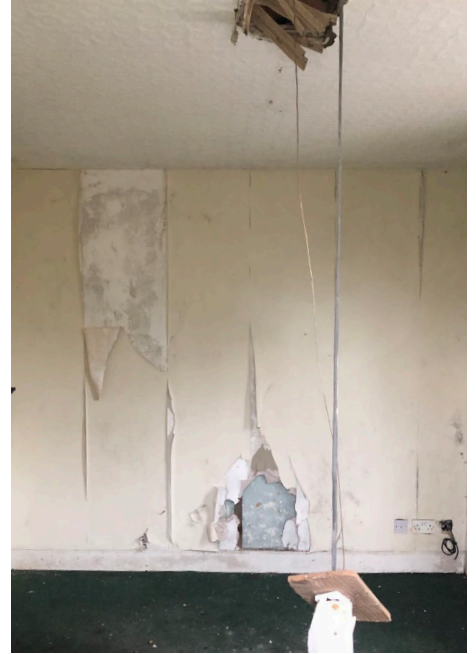
- 1 New opening
- 2 New wall
- 3 Remove wall

- E1 Existing limestone finish
- E2 Existing PVC type windows/doors to be replaced
- E3 Existing red brick
- E4 Existing stone finish
- Demolition





PP 1005A EXISTING SECTION CC

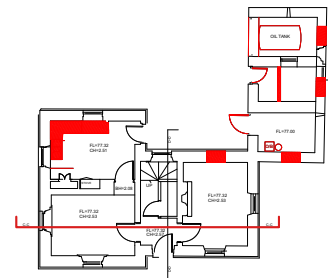


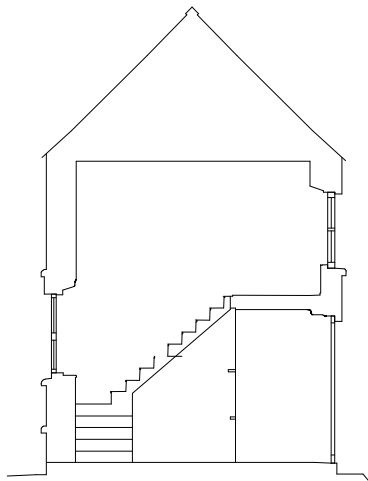
PP 1005B PROPOSED SECTION CC

LEGEND

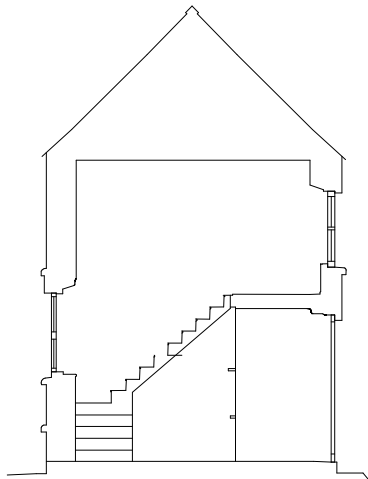
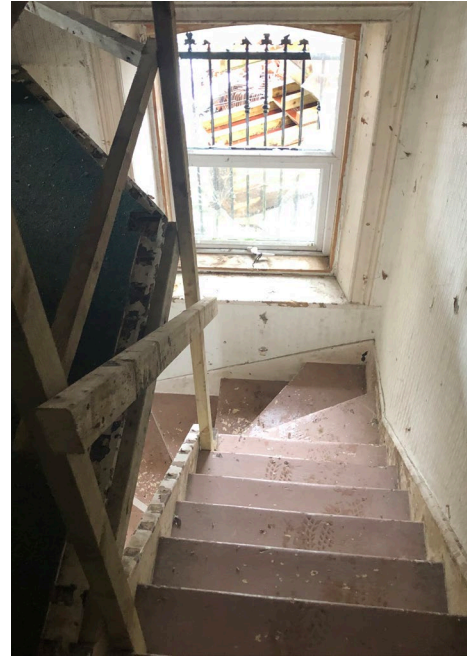
- 1 New opening
- 2 New wall
- 3 Remove wall

- E1 Existing limestone finish
- E2 Existing PVC type windows/doors to be replaced
- E3 Existing red brick
- E4 Existing stone finish
- Demolition





PP 1006A EXISTING SECTION DD

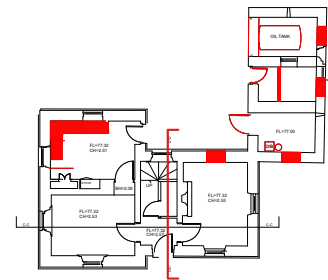


PP 1006B PROPOSED SECTION DD

LEGEND

- 1 New opening
- 2 New wall
- 3 Remove wall

- E1 Existing limestone finish
- E2 Existing PVC type windows/doors to be replaced
- E3 Existing red brick
- E4 Existing stone finish
- Demolition



8 Conclusion

The Architectural Heritage Impact Assessment (AHIA) assesses the potential impact on the architectural heritage and demonstrate that best practice conservation methods will be carried out to the Former Master's House, Kinnegad, Co. Westmeath. The potential benefits of this development are multi-faceted; this development together with the development of the neighbouring school house as a library and training facility will collectively serve to address a deficit in social infrastructure provision within Kinnegad whilst revitalising and regenerating a key site in a compact manner. The proposed conservation, restoration and expansion of the former master's house, a Protected Structure, in accordance with best conservation principles, along with the redevelopment of the former school will result in the successful regeneration of key Protected Structures and will ensure the rejuvenation and longevity of these attractive historic buildings and contribute to the built form of Kinnegad.

Works to the Former Master's House – a protected structure

The above report demonstrates that:

- The design team have evaluated the significance of the structure, have studied the history of the building and site.
- The design team are using best practice conservation led approach, for the proposed conservation and upgrade of the existing protected structure.
- The proposed conservation plan for the repair of structural fabric abides by series of internationally recognised conservation principles.
- All existing finishes and fabric are recorded and conserved except where fabric is removed to facilitate the offices addressing and engaging with the public realm in its surroundings.
- The proposed interventions take place where non-original elements have been added and do not contribute to the historical value of the property. A proposed rear opening aims to connect the Master's House with the new extension. Additionally, minor openings are proposed in the stone building attached to the Master's House to enhance air and light quality in the new offices.
- The opportunities to enhance the public realm, to allow the new economic enterprise hub to engage with the neighbouring buildings and public realm.

Proposed Extension

- The proposed extension respects the context of the protected structures and the surrounding context.
- The new extension to the rear is separated from the historic structure by a minimal single-story link block which touches the protected structure lightly and can be removed with ease.
- The new extension to the rear is designed to respect the form of the existing building and the context of the existing building. It is removed from the building, its overall height is below the level of the existing eaves, its mass and bulk is broken down in scale and its materiality respects the texture and grain of the local materials while presenting a contemporary expression.

Overall Development

- The overall development allows a sustainable new use for the building which has been vacant for many years and is not suitable for its previous function.
- The approach to proper environmental, sustainable and energy consideration of the proposed refurbishment will result in a truly sustainable Economic Enterprise Hub.

- The design of the new extension to the existing masters house building within the setting of the school and library forms a unified whole linked to the public realm on the main street and providing opportunities for permeability and linkages to the neighbouring uses and future developments, while respecting the urban grain of the town.
- The proposed economic enterprise hub complies with Westmeath County Development Plan standards and other national standards.